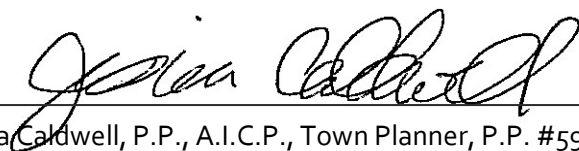


ROUTE 206
REDEVELOPMENT PLAN

Township of Andover
Sussex County, New Jersey

March 2022
Amended November 2022
Amended June 2023



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The original of this document was signed and sealed in accordance with Chapter 41 of
Title 13 of the State Board of Professional Planners.



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Contents

INTRODUCTION3

PLAN CONTEXT 4

PURPOSE..... 4

DEFINITIONS 4

PLAN CONSISTENCY REVIEW7

 Township Master Plan Consistency7

 Local, Regional, and State Plan Consistency..... 8

 Redevelopment Plan Map10

APPLICATION OF REGULATIONS14

REDEV Zone– Route 206 Redevelopment Zone14

 Permitted Uses14

 Conditional Uses14

 Interim/Temporary Uses15

 Area and Bulk Requirements15

AHCO – Andover Hamlet Center Overlay16

 Applicability.....16

 Permitted Uses16

 Conditional Uses17

 Area and Bulk Requirements17

 Affordable Housing Requirements17

Standards for the Route 206 Redevelopment Zone and AHCO Zone18

 Design Standards.....18

 Parking Standards26

 Screening Requirements27

 Mobility Regulations28

 Signage29

 Ordinance Standards Applicable29

 Submittal Requirements29

LEGAL PROVISIONS29

 The Validity of the Plan29

 Zoning Map Revisions29

 Amendments to the Route 206 Redevelopment Area Plan30

 Variations in Site Plan Design30

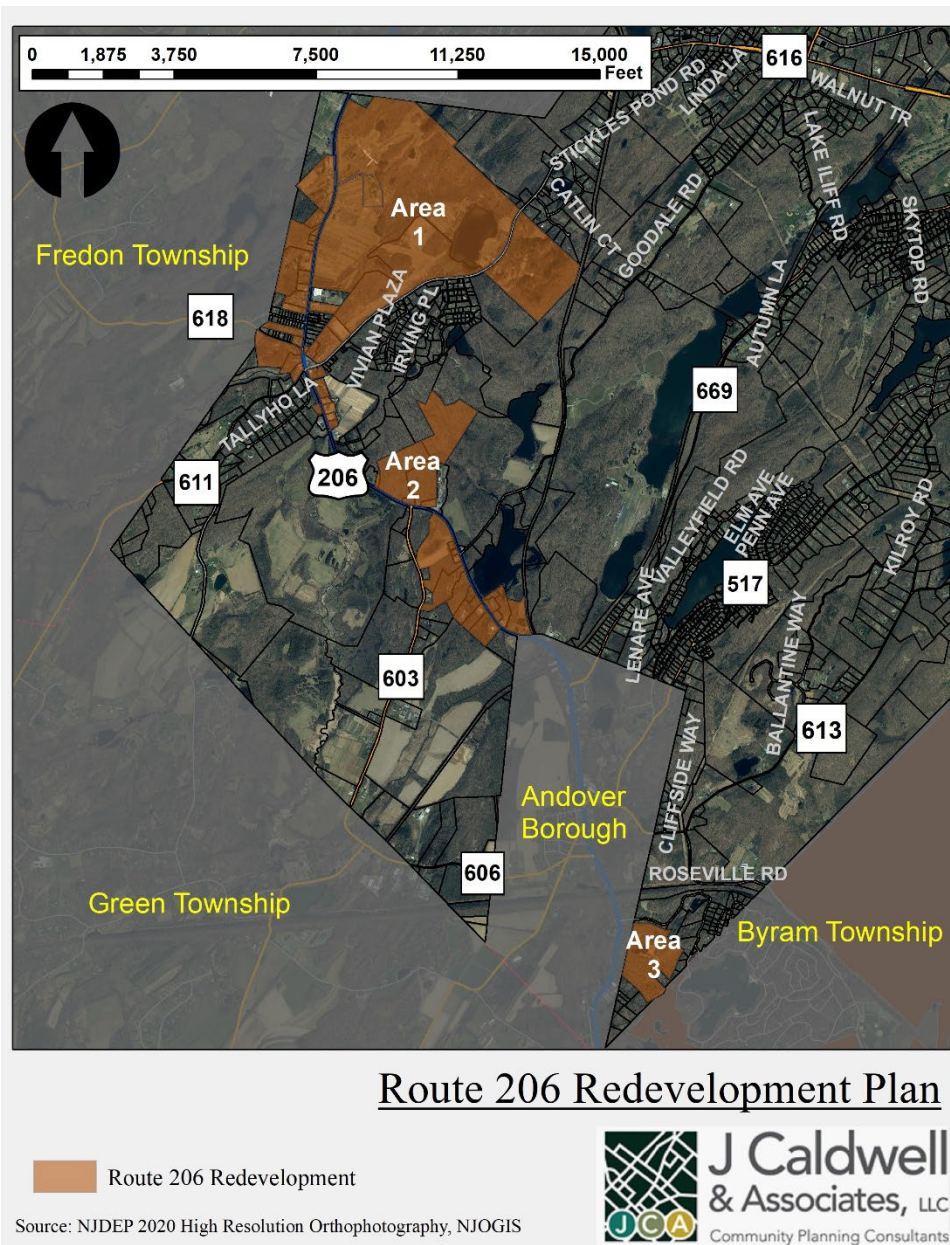
ACQUISITION PLAN.....31

RELOCATION PLAN.....31

PARCELS WITHIN ROUTE 206 REDEVELOPMENT AREA31

INTRODUCTION

The Route 206 Redevelopment Plan (the "Plan") governs the Non-Condensation Area in Need of Redevelopment (the "Plan Area") designated by Resolution 2021-91 adopted by the Township Committee of the Township of Andover on September 2, 2021, pursuant to the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq. (the "Redevelopment Law"), including 43 tax lots along the Route 206 Corridor (the "Plan Area"). This Plan is proposed to execute the redevelopment of the Area, shown below.



PLAN CONTEXT

The Plan Area occupies approximately 812 acres and includes 43 tax lots in Andover Township, Sussex County. The Plan would replace six (6) zones in the Plan Area, the B/A – Business/Airport Zone, the C/I – Commercial Industrial Zone, the HC – Highway Commercial Zone, the ML – Mount Laurel Zone, R-2 – Single Family Residential Zone, and the PCD – Planned Commercial Development Zone. The Plan Area centers around U.S. Highway Route 206 (Route 206) and Stickles Pond Road. A complete list of the parcels in the Plan Area by tax lot is provided at the end of this report. The existing uses in the Plan Area consists of a mix of commercial, residential, and industrial uses. A variety of uses are located within the Plan Area including convenience stores, restaurants, motels, retail and service uses, a former airport, banks, gas and service stations, farms, autobody shops, warehousing and light industrial, offices, quasi-public uses such as churches and a masonic temple, and a variety of residential uses. The Plan Area is primarily accessed by Route 206, which is one of two main commercial and residential corridors in the Township of Andover, with the other main corridor being Newton-Sparta Avenue. As a result, the Plan Area is a crucial economic center for the municipality. The primary goal of the Redevelopment Plan is to promote economic vitality along the Route 206 Corridor which serves residents and visitors as an accessible highway commercial corridor.

PURPOSE

This Redevelopment Plan is designed to serve as the zoning for the Plan Area by providing guidelines for new construction in the Plan Area and establishing permitted land uses and building requirements for the Area. The Plan permits a mix of uses focusing on commercial and light industrial for the majority of the Plan Area, however the northern section includes a mixed-use overlay zone that contemplates the opportunity to also provide housing in this section of the Township. The overall goal of the plan is to enliven this underutilized section of the Township. The street frontage of parcels in the Plan Area should be developed with an inviting streetscape to create an engaging public realm. The Plan is designed to encourage the integration of enhanced building designs, parking, landscaping, and signage elements in order to improve the appearance of the streetscape along the Route 206 corridor and create a visually appealing and productive gateway into and corridor through the Township in concert with the Township's Master Plan policies and goals for the Plan Area.

DEFINITIONS

The following definitions apply to this Redevelopment Plan. Where terms are not identified, definitions in the Township Ordinances shall prevail.

Banquet Facilities - A building or a portion of a building which is rented or reserved by individuals, businesses, or groups to accommodate private functions including, but not limited to, banquets, weddings, anniversaries and other similar celebrations, and such use may or may not include: 1) kitchen facilities for the preparation or catering of food; 2) the sale of alcoholic beverages for on-premises consumption, only during scheduled events and not open to the general public; and 3) outdoor gardens or reception facilities.

Commercial Recreation - Facilities of a recreational nature, such as a riding academy, bowling alley, golf course or tennis club operated for profit, open to the public.

Duplexes – A building on a single lot containing two single-family dwelling units, each of which is totally separated from the other by an unpierced wall extending from the basement to roof or an unpierced ceiling and floor extending from exterior wall to exterior wall except for a common stairwell exterior to both dwelling units.

Fast-food establishments – An establishment whose principal business is the sale of pre-prepared or rapidly prepared food directly to the consumer in a ready-to-consume state for consumption either within the restaurant building or in vehicles on the premises or off the premises.

Farm stands – A structure for the display and sale of farm products primarily grown on the property upon which the stand is located.

Flex-space buildings – Light industrial buildings that have a combination of warehouse space and office/retail space in each unit and units often have a warehouse door or loading dock.

Greenhouses– A building or structure whose roof and sides are made largely of glass or other transparent or translucent material and in which the temperature and humidity can be regulated for the cultivation of fragile or out of season plants

Health clubs - An establishment that provides facilities for aerobic exercises, running and jogging, exercise equipment, game courts, swimming facilities, and saunas, showers, massage rooms and lockers

Gross lot area – For the purposes of establishing residential density, Gross Lot Area is the total gross land area of a redevelopment project dedicated to residential or mixed-use development.

Light manufacturing, fabricating and assembly plants - A manufacturing or other similar industrial operation which is confined to an entirely enclosed building and such manufacturing operation does not cause the emission or production of: odor, dust, refuse matter, liquid wastes, vapor, gas, smoke, light, glare, vibrations and/or noise.

Live/work - A unit that contains one dwelling unit, in addition to dedicated floor space for the purpose of conducting a business. The business component may or may not be separate and distinct from the dwelling and may involve retail sales of products and/or visitation by clients for services.

Medical offices – An office used by physicians and dentists or similar medical professionals for treatment and examination of patients; provided, that no overnight patients shall stay on the premises.

Multifamily residential – A building containing three or more dwelling units including units that are located one over another.

Nurseries – The growing, cultivation, storage and sale of garden plants, flowers, trees, shrubs, and fertilizers, as well as the sale of garden tools and similar accessories and ancillary products, to the general public.

Professional, business and administrative offices – A room or group of rooms used for conducting the affairs of a business, profession, service, industry, or government and generally furnished with desks, tables, files, and communications equipment.

Research laboratories – A facility for investigation into the natural, physical or social sciences, which may include engineering and product development.

Restaurants – An establishment where food and drink are prepared, served and consumed, mostly within the principal building.

Retail sales and services – Establishments engaged in the selling or rentals of goods or merchandise (usually to the general public for personal use or household consumption, although they may also serve business and institutional clients) and in rendering services incidental to the sale of such goods

Spas - A commercial establishment offering health and beauty treatment through such means as steam baths, exercise equipment, and massage.

Sports facilities - Enclosed areas of sports pavilions, stadiums, gymnasiums, health spas, boxing arenas, swimming pools, roller and ice rinks, billiard halls, bowling alleys, and other similar places where members of the general public assemble to engage in physical exercise, participate in athletic competition, or witness sporting events.

Shopping centers – A group of commercial establishments planned, constructed and managed as a total entity, with customer and employee parking provided on-site, provision for goods and delivery separated from customer access, aesthetic considerations and protections from the elements, and landscaping and signage according to approved plans.

PLAN CONSISTENCY REVIEW

Township Master Plan Consistency

The Redevelopment Law requires that the Redevelopment Plan define the Plan's relationship to local master plan goals and objectives such as appropriate land uses, population densities, improvements to traffic, public utilities, recreational and community facilities, and other improvements. The Redevelopment Law also requires that the Redevelopment Plan be substantially consistent with the municipal master plan or designed to effectuate the master plan.

The Township's Master Plan was adopted by the Andover Township Land Use Board on December 7, 1992, and a Master Plan amendment was adopted in October 2005. The 1992 Master Plan was then updated in July 2007, December 2008, and July 2011 to enhance and further the goals and objectives of the Township's changing land use and housing needs. The following Master Plan goals and objectives relate to the Redevelopment Area and further enhance the Land Use Goals of the Township of Andover's Master Plan.

- To protect and maintain the prevailing rural character and unique sense of place of the Township, which includes diverse residential neighborhoods, attractive nonresidential uses, scenic landscapes that result from the natural topography, agricultural lands, woodlands, and watercourses.
- To establish development densities and intensities at levels that do not exceed the carrying capacity of the natural environment and available infrastructure, both existing and planned.
- To provide a future land use pattern that serves the needs of the community for housing, community services, and a safe and healthful environment.
- To promote cooperation with neighboring municipalities in the region to advance consistent development and open space goals, policies and plans.
- To promote the goals and objectives of Andover Township through the incorporation of local policies and strategies that respond to the basic premises, intent, and purposes of the State Development and Redevelopment Plan and the Sussex County Strategic Growth Plan.
- To continue and expand upon land-use policies that promote controlled development at suitable locations by discouraging the extension of growth-inducing infrastructure into rural areas and exploring the possibility for a "hamlet" center.
- To provide for a reasonable balance among various land uses that respect and reflect upon the interaction and synergy of community life.
- To offer flexibility in developing techniques that recognize new approaches and technologies which are responsive to evolving demographic, economic and environmental needs.

The following Community Design Goals from the Master Plan support the undertaking of this Redevelopment Plan.

- To develop standards to ensure good visual quality and design for all land use categories.
- To ensure that new development is visually and functionally compatible with the physical characteristics of the Township.

- To provide for a proactive approach to physical design and community planning so that adjacent land uses function compatibly and harmoniously in terms of scale and location.
- To improve the visual and physical appearance of developed areas while protecting residential neighborhoods from encroachment by incompatible uses.
- To establish land-use policies and design standards that will enhance views along existing commercial corridors.
- To retain to the greatest extent practicable attractive vistas from public rights-of-way, including views of hills, valleys, ridgelines, woodlands, farmlands, hedgerows, stream corridors, flood plains, and other natural areas.

The redevelopment law requires that the redevelopment plan define the relationship of the Plan to the local master plan goals and objectives such as appropriate land use, population densities, improvements to traffic, public utilities, recreational, community facilities and other improvements.

This Redevelopment Plan is consistent with the above goals and objectives of the Township's Master Plan.

Local, Regional, and State Plan Consistency

The relationship of the Redevelopment Plan with surrounding communities' master plans is also reviewed to determine whether any significant relationship exists. Its relationship to the State Development and Redevelopment Plan must also be reviewed. The Plan Area is located along the Route 206 corridor and does border on Andover Borough and the Town of Newton.

The Redevelopment Plan is consistent with the Andover Borough Master Plan by providing for mixed-use commercial and non-residential uses along the Route 206 corridor where similar uses are permitted within the Borough of Andover. Likewise, the proposed Redevelopment Plan is consistent with the Newton Master Plan, which identifies mixed-use neighborhood commercial along Route 206 in the Town.

The Sussex County Strategic Growth Plan (SGP) divides the County into six (6) "landscapes," and the Route 206 corridor is classified as a "Job Creation Center" where a significant concentration of Job Creating facilities (including Commercial and Light Industrial) would be appropriate. The growth plan also focuses on providing incentives to develop along major corridors, like Route 206, in lieu of developing in areas which are not as readily accessible. This Redevelopment Plan is consistent with the Sussex County Strategic Growth Plan because it is planning for Job Creating businesses along a major transportation corridor in the County, which is designated by the County Plan for job creating businesses.

The Township overall falls within three (3) planning areas according to the State Plan. These areas include the Rural Planning Area (PA₄), Rural/Environmentally Sensitive Planning Area (PA_{4b}) and the Environmentally Sensitive Planning Area (PA₅). The Redevelopment Area is in two (2) of three (3) planning areas, which includes the Rural Planning Area (PA₅) and Rural/Environmentally Sensitive Planning Area (PA_{4b}). The State Plan also discusses establishing and maintaining a regional network that facilitates multi-modal links to, from, around and between Centers, other compact communities and significant traffic generators such as employment centers. The State Plan also has a policy

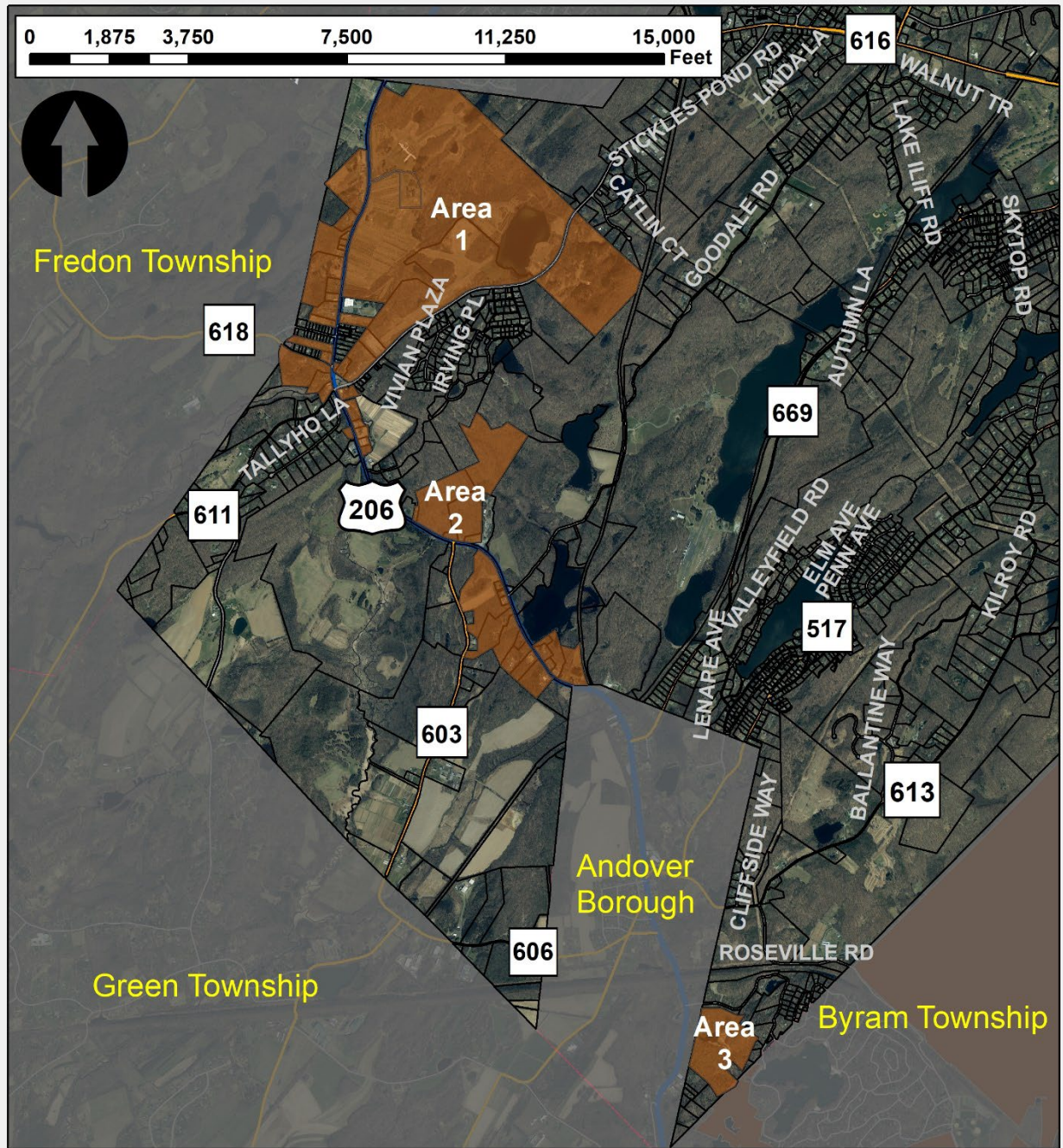
recommendation to Design corridors, including rivers, greenways, transit and roadways, to connect communities in ways that preserve rights of way, protect viewsheds, and encourage gateways and distinct transitions between communities.

The State Plan also discusses the idea of centers and hamlets and notes that new Regional Centers should be in the State's major corridors and designed to organize growth that otherwise would sprawl throughout the corridor. The State Plan notes that Regional Center's should be compact and contain a mix of residential, commercial and office uses at an intensity that will make a variety of public transportation options feasible as the Centers are built out. New Regional Centers should also have a core of commercial activity, and the boundaries of the Centers should be well defined by open space or significant natural features, according to the State Plan.

Hamlets are the smallest places eligible for Center designation in the State Plan. Existing Hamlets are found primarily in rural areas, often at crossroads. Hamlets are not synonymous with conventional single-use residential subdivisions. Although Hamlets are primarily residential in character, they may have a small, compact Core offering limited convenience goods and community activities, such as a multi-purpose community building, a school, a house of worship, a tavern or luncheonette, a commons or similar land uses. The density of a Hamlet should conform to the carrying capacities of natural and built systems. While existing Hamlets presently have no public water or sewer system, if they are planned to accommodate new development, small-scale systems or potable water systems may be required and are encouraged. New development in existing and new Hamlets should absorb the development that otherwise would occur in the Environs. The amount or level of new development should conform to the capacities of natural resource and infrastructure systems that would exist in the absence of the water and sewer systems.

Route 206 is a major corridor for the region and connects multiple Designated Centers located in Sussex County and proper development of the area will strengthen its role towards facilitating multi-modal links and development. The development Plan Area provides an opportunity to create a new Hamlet Center within the Township. Given the constraints of the Planning Areas in the Township overall, the Plan Area provides an opportunity to work as either a regional center or a hamlet. As a result, the Redevelopment Plan is consistent with the State Development and Redevelopment Plan, Sussex County Strategic Growth Plan and Master Plans of the Town of Newton and Borough of Andover.

Redevelopment Plan Map

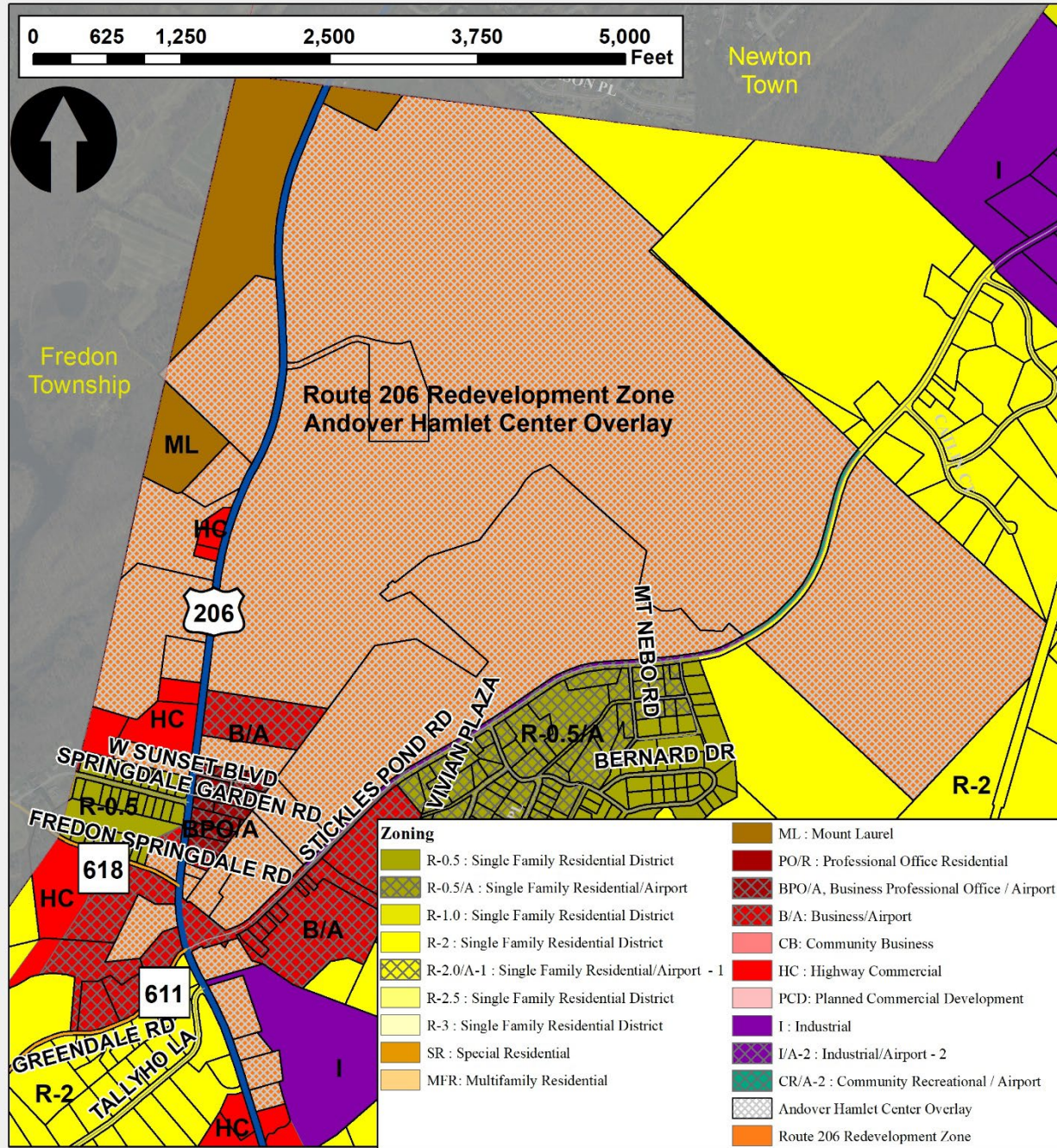


Route 206 Redevelopment Plan

 Route 206 Redevelopment

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS

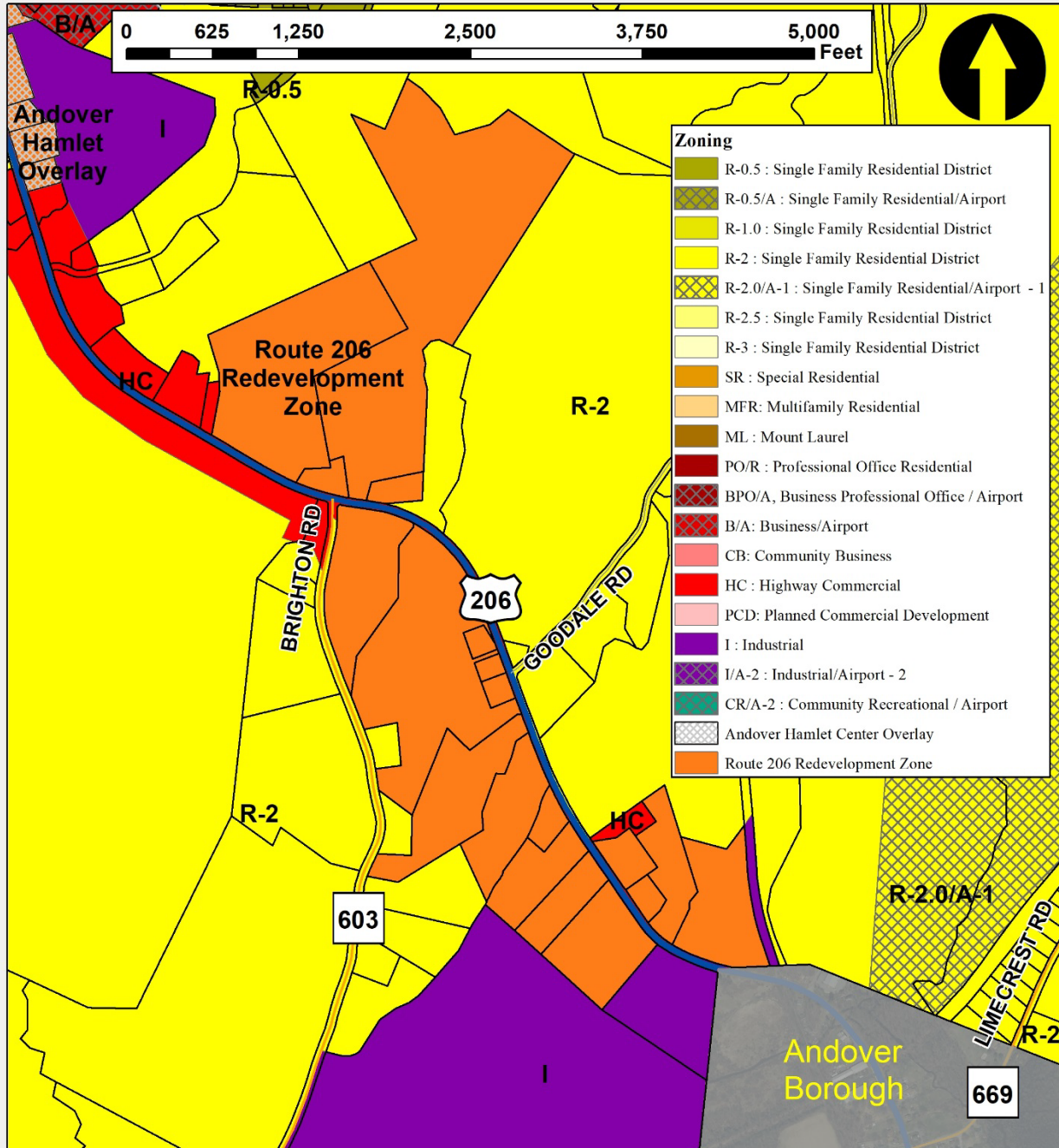




Route 206 Redevelopment Zone - Area 1

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS

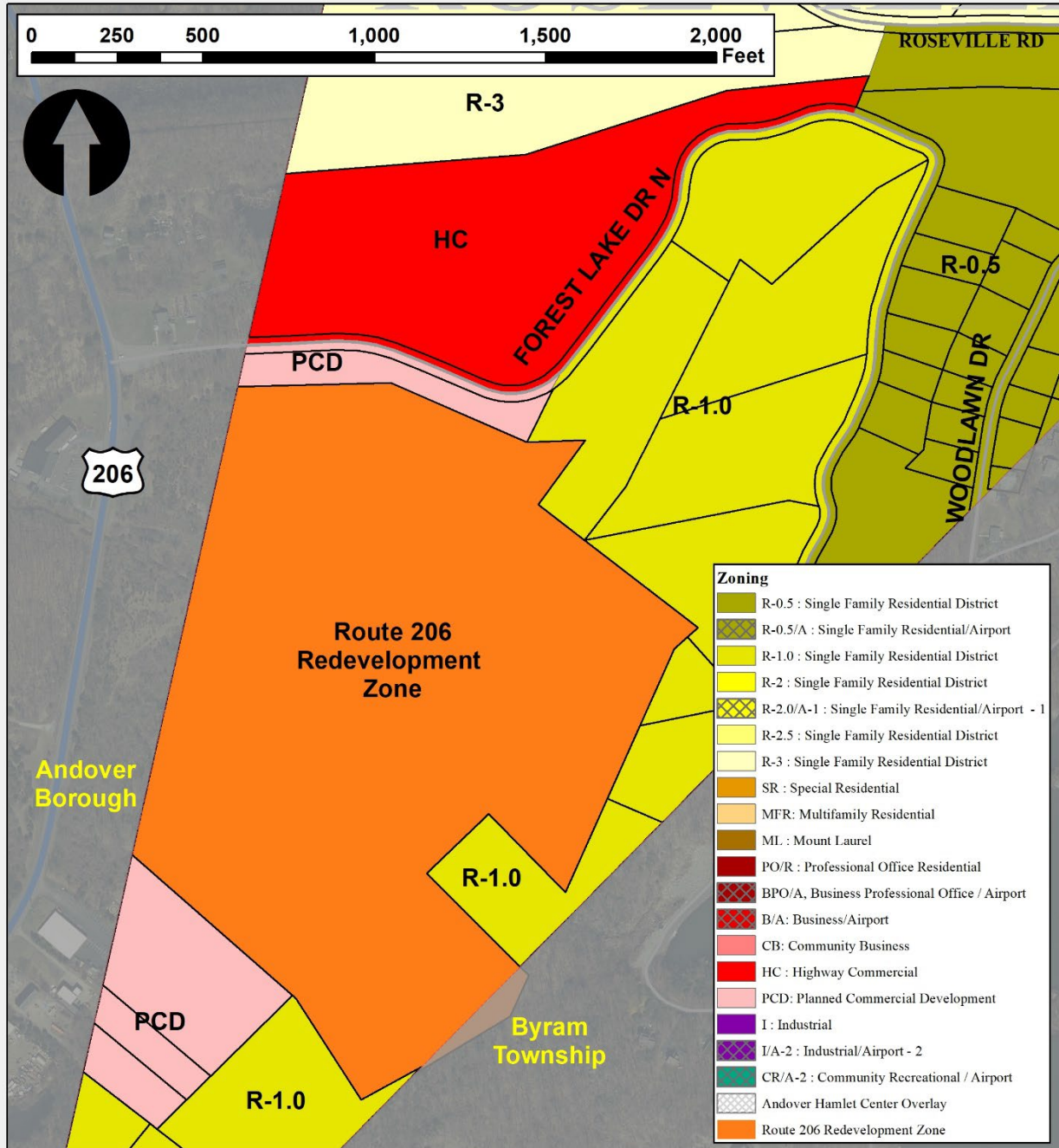




Route 206 Redevelopment Zone - Area 2

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS





Route 206 Redevelopment Zone - Area 3

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS



APPLICATION OF REGULATIONS

The Township will accept proposals from Redevelopers, for all or portions of the Plan Area based on developer interest and ability to assemble parcels. The Redeveloper will acquire, or work with the Township to acquire, all or portions of the Plan Area to redevelop the Area according to the following land use regulations:

REDEV Zone– Route 206 Redevelopment Zone

Permitted Uses

Mixed-uses, multiple principal uses and multiple principal structures are permitted. The following uses and customary and incidental accessory uses are permitted in the Route 206 Redevelopment Area.

- a. Banks and fiduciary institutions
- b. Cannabis Marketplace Class 5 Retailer (Exclusively Permitted on Area 1 Properties South of Fredon Springdale Road/County Route 618 and All Area 2 Properties – see maps on pages 11 and 12)
- c. Commercial recreation
- d. Fast-food establishments
- e. Flex-space buildings
- f. Greenhouses and nurseries
- g. Health clubs and spas
- h. Hotels and motels
- i. Licensed Child-Care Centers
- j. Medical offices
- k. Professional, business and administrative offices
- l. Public parks, playgrounds, conservation areas and municipal/public facilities
- m. Research laboratories
- n. Restaurants and banquet facilities
- o. Retail sales and services
- p. Sports facilities
- q. Farm stands
- r. Single-family detached dwellings in existence on September 2, 2021 in accordance with the R-1 requirements
- s. Shopping centers
- t. Studios for the instruction of the arts, dancing, music, language or photography
- u. Wholesale establishments, warehouses and storehouses except those set forth in Section 190-54, which are conditional uses.

Conditional Uses

- a. Agriculture, farm, or horticulture uses (§ 190-42)
- b. Animal hospitals and kennels (§ 190-49)
- c. Automobile repair services (§ 190-55)
- d. Country clubs, swim clubs and outdoor recreational facilities (§ 190-50)
- e. Cannabis Marketplaces Classes 1 – 4 (§ 190-120)

- f. Gasoline service stations (§ 190-52)
- g. Light manufacturing, fabricating and assembly plants subject to Article X Performance Standards
- h. Private housing for equine animals (§ 190-36)
- i. Public and Private Schools (§190-47)
- j. Riding academies and stables (§ 190-53)
- k. ~~Wholesale establishments, warehouses and storehouses subject to Article X Performance Standards and for any § 190-54 as applicable~~ **Wholesaling, warehousing and storing of certain materials set forth in §190-54.**

Interim/Temporary Uses

- a. Site preparation, soil movement, cut and fill in conjunction with an approved site plan.
- b. Parking as a principal permitted use.

Prohibited Uses

- a. Consumption of cannabis on the premises of any Cannabis Marketplace Class 5 Retailer located in the Route 206 Redevelopment Area.
- b. "Cannabis consumption areas," as defined by N.J.S.A. 24:6I-33, shall be prohibited throughout the Route 206 Redevelopment Area.

Area and Bulk Requirements

The following regulatory controls apply to properties located within the Route 206 Redevelopment Area:

| | |
|------------------------------------|-------------------|
| Principal Building Setbacks | |
| Minimum Lot Width | 100 feet |
| Minimum Front Yard Setback | 20 feet |
| Minimum Side Yard Setback | 10 feet |
| Minimum Rear Yard Setback | 20 |
| Maximum Building Height | 3 Stories/50 feet |
| Maximum Impervious Coverage | 75% |
| Maximum Building Coverage | 50% |

| | | |
|--|------------|---------|
| Minimum Accessory Building Setbacks | Front Yard | 20 feet |
| | Side Yard | 5 feet |
| | Rear Yard | 10 feet |

AHCO – Andover Hamlet Center Overlay

There are several properties within the Redevelopment Area, specifically in the area of the Saint Paul's Abbey Properties, that according to the 2011 Master Plan Reexamination are feasible for constructing higher density housing to accommodate affordable housing obligations. These properties also present unique opportunities to develop a hamlet center with a mix of residential uses along with commercial/retail and office uses. Development in this AHCO Zone should include a mandatory 15-20% set-aside for affordable housing. These properties may utilize the Route 206 Redevelopment Area Zone provisions or may utilize the Andover Hamlet Center Overlay standards listed below if centralized wastewater treatment and disposal is provided. The following is a list of tax lots in the AHCO – Andover Hamlet Center Overlay:

- Block 134, Lot 16.02
- Block 134, Lot 17.02
- Block 134, Lot 17.06
- Block 134, Lot 17.08
- Block 134, Lot 17.12
- Block 134, Lot 33
- Block 151, Lot 2
- Block 151, Lot 3
- Block 151, Lot 16
- Block 151 Lot 18
- Block 151, lot 19
- Block 151, Lot 20
- Block 151, Lot 21
- Block 151, Lot 22
- Block 151, Lot 22.02
- Block 153, Lot 21
- Block 153, Lot 25
- Block 153, Lot 26
- Block 153, Lot 27
- Block 153, Lot 32
- Block 153, Lot 35
- Block 154, Lot 47
- Block 155, Lot 5.01

Applicability

The AHCO Overlay applies to the lots noted above subject to access to a centralized wastewater treatment and disposal facility being provided.

Permitted Uses

Mixed-uses, multiple principal uses and multiple principal structures are permitted. The following uses and customary and incidental accessory uses are permitted in the AHCO – Andover Hamlet Center Overlay:

- a. Banks and fiduciary institutions
- b. Duplexes
- c. Health clubs and spas
- d. Hotels/motels
- e. Live/work
- f. Medical offices
- g. Mixed-use buildings with multifamily residential located above the first floor permitted non-residential uses
- h. Multifamily residential
- i. Preschools and childcare facilities
- j. Professional, Business and Administrative offices
- k. Restaurants and banquet facilities

- l. Retail sales and services
- m. Sewer and water utilities
- n. Single-family Residential (minimum 5,000 square foot lot size)
- o. Studios for the instruction of the arts, dancing, music, language or photography
- p. Townhouses

Conditional Uses

- a. Home occupations (§ 190-45)

Area and Bulk Requirements

The following bulk standards apply as an overlay zone to properties located within the Andover Hamlet Center Overlay:

AHCO BULK STANDARDS TABLE

| | | |
|--|---|--|
| Building Configuration | Principal Building | 3 Stories / 50 feet maximum |
| | Accessory Building | 2 Stories / 25 feet maximum |
| Lot Occupation | Lot Width | 20 feet minimum |
| | Lot Coverage | 75% maximum |
| Lot Area | Single Family Residential | 5,000 square foot minimum |
| | Commercial/Mixed Use/ Multi-Family Residential | No minimum |
| Residential Density | 85% of gross lot area | Max. 8 du/acre |
| | 15% of gross lot area | Max. 12 du/acre |
| Affordable Housing Requirements | Minimum Set Aside | 15% for rental residential 20% for for-sale residential |
| Commercial / Mixed Use Setbacks | Front Yard Primary | 20 feet minimum |
| | Front Yard Secondary | 10 feet minimum |
| | Side Yard | 20 Feet minimum |
| | Rear Yard | 30 Feet minimum |
| Residential Setbacks | Front Yard Primary | 20 feet minimum |
| | Front Yard Secondary | 20 feet minimum |
| | Side Yard | 15 feet minimum |
| | Rear Yard | 30 feet minimum |
| Accessory Building Setback | Front Yard | 20 feet |
| | Side Yard | 5 feet minimum or 10 feet at corner |
| | Rear Yard | 5 feet minimum |

Affordable Housing Requirements

The Township of Andover has previously designated the area around the Saint Paul’s Abbey Property as appropriate to construct affordable housing. As a result, an affordable housing set-aside within the Hamlet Center will provide for a mix of housing choices within the Township. Any housing proposed within the Hamlet Center that results in a density of more than six (6) units per acre and a total of six (6) or more units shall provide a 15 percent set-aside for affordable rental housing and a 20 percent set-aside for affordable for-sale housing. Those units shall meet all state and local standards in place at the time of development.

Standards for the Route 206 Redevelopment Zone and AHCO Zone

Properties developed under the Route 206 Redevelopment Zone and Hamlet Center Overlay Zone standards shall be subject to the standards of this Plan for building design, parking, lighting, landscaping and other site plan standards. Where conflicts exist, this Plan supersedes the Zoning Ordinance.

Design Standards

Aesthetic design standards shall apply to all minor, preliminary and final major site plans.

1. Architectural and building attributes.
 - a. Buildings shall be designed to evoke the architectural attributes of Rural Colonial Farm and Mountain Lake architecture and/or existing architecturally significant buildings in the Township.
 - b. The building mass, footprint and architecture shall be designed to create an attractive visual presence at a pedestrian scale. All sides of a building visible from a street or parking area shall be “finished” with architectural features.
 - c. The following photographs of buildings in the Township along Route 206 and the area represent architectural and design elements that are desired in the Redevelopment Area:





d. Building materials and colors:

- i. All building materials and colors used on the exterior of a building shall be compatible with its overall design. Wood clapboard, or manufactured equivalent, is recommended. Natural wood or cedar shake siding is also recommended. Natural or cultured stone is recommended as a primary accent material especially for building foundations, decorative piers and columns. Textured wood siding is recommended. Textured vinyl, cement fiber materials and brick are permitted. Aluminum siding, non-decorative concrete block and other similar materials are prohibited. Stucco or stucco like products may be used only as an accent material and not encompass more than 40 percent of the wall surface.
- ii. Building colors shall utilize historic paint color palettes, such as Sherwin-Williams Historic Paint Collection or Benjamin Moore's Historical Collection (shown below). Building colors shall include a base color, complementary trim colors, and accent colors for doors and shutters.



- iii. Buildings with multiple storefronts shall include variations in roofline and building height to define the individual stores within a building block.
- iv. Buildings with multiple storefronts shall be unified using architecturally compatible styles, materials, colors, details, awnings, signage and lighting fixtures on all storefronts.
- v. Changes in building material should occur at a logical place such as a change in building mass, roof or an inside corner.

e. Building walls

- i. Blank, windowless walls are discouraged. The façade shall be broken up into sections or bays to provide variety and interest. Columns, recesses and variations in the rooflines shall be used to break up the wall of the building into smaller sections. Variations in buildings, materials, patterns and colors shall also be used to differentiate the building wall. Landscaping may also be used to break up a wall area; however, building material variations should be the primary method for adding interest to the building.
- ii. Building facades shall provide unified design with a clearly defined building entrance. Recessed entrances are encouraged similar to those on older commercial buildings. Columns, awnings, canopies and pilasters can be used to

define the entryway. Doors and window trim shall be used to highlight these features.

- iii. The architectural treatment of the front façade shall continue around all visible exposed sides of the building. Each façade of a building shall be consistent in style, materials, colors and details. Buildings shall have a defined base and cap. The base may align with the windowsill level of the first floor, the foundation edge, or the ground with foundation plantings. The cap of the building includes the building cornice, parapet or eaves at the top of the building wall.
- f. Roofs and roof material.
- i. Roofs shall be designed to reflect the style of the existing historic structures in terms of pitch and material. They shall be compatible with the building's architecture and complementary to adjoining structures. Roof offsets, dormers and gables are encouraged. Architectural embellishments including towers, cupolas, chimneys, dormers and cross gables can be used to break up large roof masses and add visual interest.
 - ii. Roofs shall be designed to screen any proposed rooftop service equipment.
 - iii. Roof materials for visible roofs shall include metal, textured asphalt shingles, slate, slate-like tiles or wood shingles in tones compatible with the architecture of the building.
- g. Windows.
- i. The first-floor windows of commercial uses shall be transparent to encourage pedestrian activity. A minimum of 50% of the front façade shall be transparent. On corner lots each façade facing the street shall be 50% transparent respectively. On the upper floors a minimum of 30% of the front facade shall be transparent or glazed.
 - ii. Windows arrangement shall be in a unified pattern with windows in the upper level vertically aligned with windows and doors on the ground level. The window locations and rooflines shall be compatible with adjoining building bays and adjacent buildings.
- h. Building location and orientation.
- i. The buildings shall be located towards and relate to public streets, both functionally and visually.
 - ii. In a multiple building development, the buildings shall be organized, to the extent possible, around features such as courtyards, quadrangles and alleys, which

encourage pedestrian activity and incidental social interaction among users. Smaller, individualized groupings of buildings are encouraged.

i. Service equipment.

- i. All air conditioning units, HVAC systems, exhaust pipes or stacks, elevator housing, satellite dishes and other telecommunications receiving devices shall be screened from public view using walls, roof elements or other such screening devices, designed to be architecturally compatible with the building's style, materials, colors and details.

In buildings requiring a second means of egress pursuant to Uniform Construction Code, internal stairs or other routes of egress are preferred. Only in exceptional circumstances shall an attached external fire escape be permitted as one of the required means of egress and only if located, on a building's rear or side elevation.

j. Outdoor seating (sidewalk cafes) and sidewalk displays.

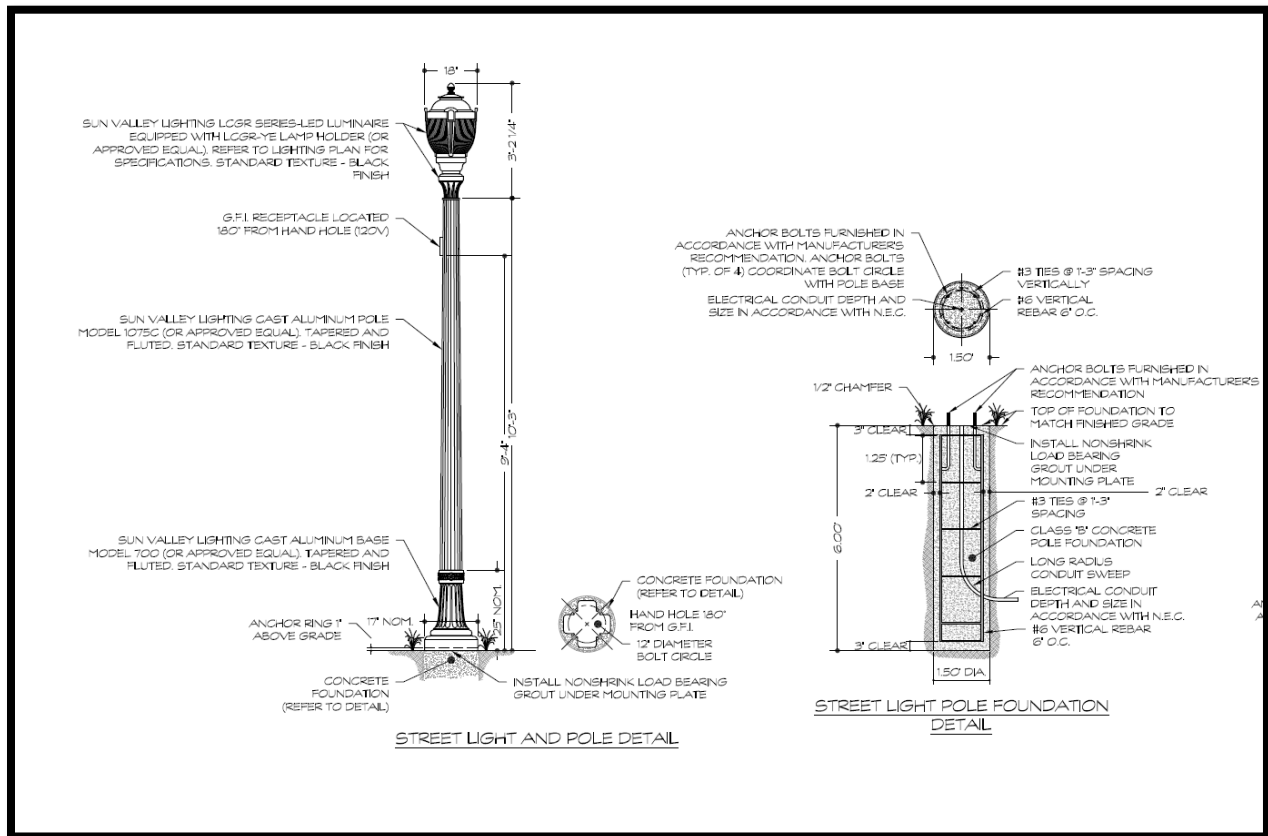
- i. Outdoor seating, where permitted, may be located on sidewalks, plazas, and courtyards, provided pedestrian circulation or access to store entrances are not impaired.
- ii. Removable enclosures are encouraged and should be used as a way of defining the area occupied by the outdoor seating. Extended cloth or canvas awnings, colorful canopies or large umbrellas are also recommended as a way to define an outdoor seating area.
- iii. Sidewalk displays, limited to the premises from which items are being sold, are permitted directly in front of the establishment along the sidewalk, provided at least six feet (6ft) of clearance is maintained at the storefront entrance and at least four (4 ft) feet of sidewalk is maintained for pedestrians.

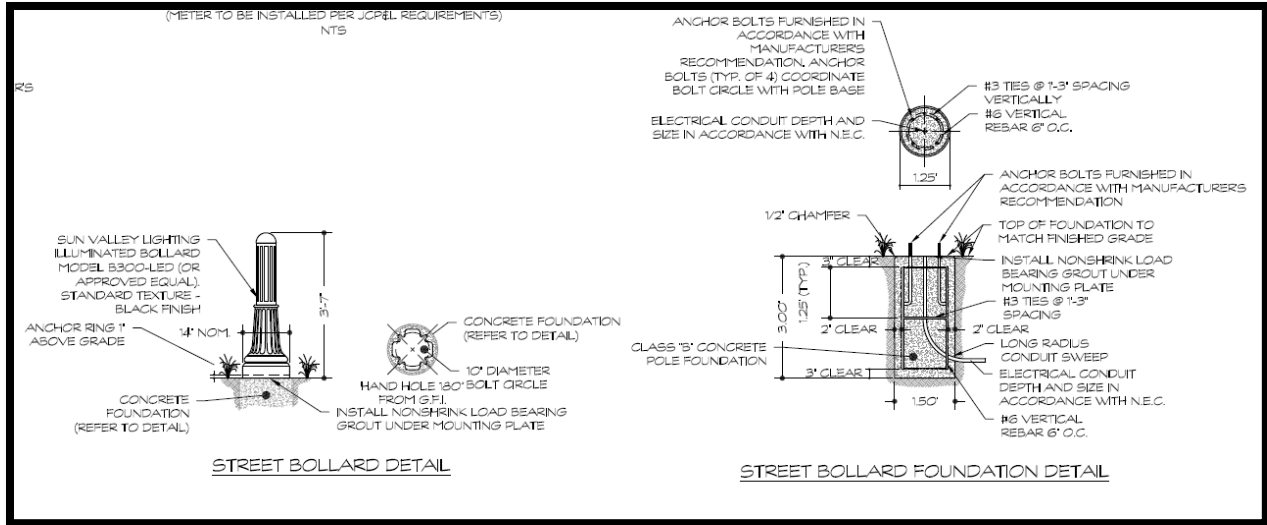
k. Awnings.

- i. Fixed or retractable awnings are permitted at ground floor level and on upper levels where appropriate. Awnings should be compatible to the building's architectural style in terms of color, materials and style and should not conceal architectural features on the building such as decorative columns, pilasters, cornices or decorative details. They should be designed so as not to impair façade composition and to work within the building façade's subdivision.
- ii. Canvas or metal awnings are preferred, although other waterproofed fabrics or materials may be considered. Solid or striped patterns are preferred. Colors of awnings shall be compatible with building and sign colors
- iii. In a building with multiple storefronts, compatible awnings with similar styles or colors should be used as a means of unifying the structure.

2. Lighting.

- a. Street lighting is required along street frontages. Street lighting and streetscape amenities shall match the standards of the Township Code and blend with the architectural style of the community. See details below.
- b. A lighting plan providing a maximum of 0.5 foot-candle for streets, sidewalks and parking areas shall be provided, consistent with the Township Lighting Standards in §131-38.
- c. Lighting shall be shielded to prevent glare and off-site light pollution.
- d. The use of creative lighting schemes to highlight building facades and related areas of a site is encouraged.





| LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------|-------|-----|--|---|--|---------------------------------|----------|------|-------|
| SYMBOL | LABEL | QTY | CATALOG NUMBER | DESCRIPTION | LAMP | FILE | LUMENS | LLF | WATTS |
| • | B | 10 | SUN ALLEY BOLLARD BSEL CAP WA 24LED | BSEL-CAP-WA-24LED- NW VPA-SYM POWER ARRAY WITH OPAL ACRYLIC LENS | 120 LAMP LUMENS AT 85°C | BSEL-CAP-WA-24LED- NW/les | ABSOLUTE | 0.81 | 2640 |
| ⊙ | A | 8 | SUN VALLEY LCG-GRV-18-36LED-N W-525 POST TOP ACCORN 18 TYPE B PRISMATIC GLASS REFRACTOR | | 36 LED VERTICAL POWER ARRAY WITH CLEAR PATTERNED LENS 525 MA DRIVE CURRENT - 58 INPUT WATTS | LCG-GRV-18-36LED-NW -525 les | ABSOLUTE | 0.81 | 58 |

2. Landscaping.

- a. Landscaping shall be provided to promote a desirable and cohesive natural environment for residents, downtown patrons, employees, passing motorists and visitors. Landscaping must also be utilized to screen parking and loading areas, provide windbreaks for winter winds and summer cooling for building, streets, and parking.
- b. Ornamental trees should be provided throughout the Route 206 Redevelopment Area, particularly at key locations such as site entrances and along existing roadway frontages.
- c. Hedges, shrubs, and ground cover must be used to define space and provide privacy. Foundation plantings should include evergreen and deciduous shrubs.
- d. Landscape plantings should complement the building and emphasize important features.
- e. All landscaping must have a two-year maintenance guarantee. If any planting material dies within two years of planting, it must be replaced by the following planting season.
- f. The use of planters, window flower boxes and hanging baskets is encouraged to provide seasonal color.
- g. The use of landscaping, plants and trees which are native to the township
- h. Existing healthy and mature trees should be retained and incorporated into the landscape plan, wherever possible.
- i. The landscaping shall be integrated with other site design features such as walkways, paths, gazebos, fountains, street furniture and public art.
- j. Street trees, a minimum of 2.5-inches caliper at the time of planting, shall be planted along street frontages. The bottom branches shall be trimmed to a minimum of seven feet (7 ft) from the ground to allow pedestrian passage. Tree spacing shall be generally 35-40 feet apart with variation for driveways, lighting and other streetscape features.

3. Buffer and screening requirements.
 - a. The applicant shall buffer or screen property lines adjacent to existing residential properties.
 - b. The buffer shall be planted with a mix of evergreen and deciduous trees and shrubs to provide a year-round natural looking screen.
 - c. Fences and walls shall not exceed six feet (6 ft) in height above ground level.
 - d. The finished side of a fence must face adjoining properties. Fence posts that are unfinished and any other structural component of the fence must be installed facing the subject property rather than the adjoining property.
 - e. Dumpsters must be fully screened from view with a screening fence or wall.
4. Pedestrian and bicycle access and circulation.
 - a. Sidewalks must be provided along all street frontages and must be a minimum of six feet (6 ft) wide (including a two-foot paver strip) on Route 206 and a minimum of four feet (4 ft) wide on other street frontages to provide safe and convenient movement for pedestrians. Below is an example of pedestrian space.

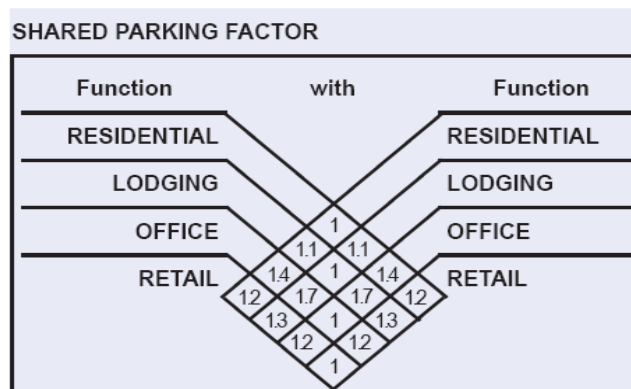


- i. Pedestrian-only sidewalks along building frontages must be at least six feet (6 ft) wide. Other sidewalk areas must be at least four feet (4 ft) in width to provide for the safe and convenient movement of pedestrians.
- ii. All building entrances must provide pedestrian access to adjacent streets and parking areas.
- iii. Crosswalks shall be provided to connect sidewalks and pedestrian areas. Crosswalks shall be constructed according to requirements as defined in Chapter 155 Streets and Sidewalks Attachment 155a Min Road Design Standards. The Land Use Board may require brick crosswalks to be installed if it deems them necessary for pedestrian safety and to improve the visual appearance of the area.

- b. Bicycle access and parking should be considered as part of the development. At least one bike rack capable of holding at least three (3) bicycles should be provided per parking area.
- c. Electric vehicle charging stations should be provided as required by State law in parking areas to promote maximum usage while minimizing interference with parking and circulation.

Parking Standards

To promote more efficient use of parking facilities, a parking space may be counted towards the parking requirement for two or more different uses provided that the parking is within 250 feet of the uses and the use is on the shared parking factor table. The shared parking factor illustration below shows how shared parking can be calculated for two uses within the same vicinity of one parking area. The shared parking factor is used by adding together the parking area. The shared parking factor is used by adding together the parking requirement for each function then dividing it by the shared factor. For instance, if a residential use requires 10 spaces and retail use requires 10 spaces, the total number of 20 spaces is divided by the shared parking factor of 1.2, yielding a requirement of 17 spaces. The shared parking factor should be utilized for uses in adjacent blocks within the proximity of a shared lot. When three functions share parking, the lowest factor should be used to assure enough parking is provided.



The number of parking spaces required per use in the Route 206 Redevelopment Area are as displayed on the table below:

| | |
|--------------------|-------------------------|
| Hotel/Motel | 1.0 space per room |
| Office | 1.0 per 250 square feet |
| Retail | 1.0 per 350 square feet |
| Restaurant | 1.0 per 4.0 seats |
| Other Uses | 1.0 per 350 square feet |
| Residential | RSIS Standards |

Parking Location:

1. A minimum of 65 percent of the required off-street parking shall be located at the rear or side of the building. Up to 35 percent of the required parking may be in the front of the building if screened from the street.
2. Parking shall be setback a minimum of five (5) feet from building facade.

Parking Layout:

1. Parking lots shall be limited in size where possible and interconnected with commercial parking lots of adjacent properties. Shared parking areas and shared driveways are encouraged. Cross access easements for adjacent lots with interconnected parking lots are encouraged.
2. Parking lot design shall consider pedestrian circulation. Pedestrian crosswalks shall be provided and linked to the wider pedestrian network. Pavement textures shall be required on pedestrian access ways, and strongly encouraged elsewhere in the parking lot, as surfacing materials, or when used as accents.
3. Parking lots shall meet New Jersey ADA requirements for handicapped parking.

Parking lots shall be suitably landscaped to provide shade and visual relief. At least one shade tree a minimum of two and a half inches (2.5") caliper in size shall be provided for every ten (10) cars in the parking lot. At least ten (10%) percent of the lot shall be green. As stonewall or evergreen hedge at least four (4) feet in height shall be used to parking along the lot line. The perimeter edge of the parking lot shall be planted with evergreen hedges, shade screens, shrubs, and related covers.

Electric vehicle charging stations shall be required pursuant to State Law.

All other regulations regarding parking standards are provided in Section 190-156 through Section 190-164 Parking and Loading Requirements. In the event of a conflict between the above-referenced sections and the Plan, the Plan shall control.

Screening Requirements

1. Loading and service areas, trash receptacles and utility boxes should be placed in visually unobtrusive locations in the side or rear of the buildings. The service areas should be integrated with the building design.
2. Screening should be provided to block direct views into these areas. A solid wall with a minimum of six (6) feet in height and constructed of stone or similar material compatible to the building should be used to screen trash and service areas.
3. Property owners and businesses are encouraged to consolidate and share refuse areas and equipment.
4. Chain link fencing including the use of wood or plastic slats and wood stockade fencing is prohibited for screening trash and service areas.

5. Walls and fences in all public areas are to be constructed to match the architectural detail of the principal structure and should not be located adjacent to a residential property.
6. Fences and screen walls shall be limited to a maximum height of four (4) feet except they must be six (6) feet in height when used as a buffer for service area enclosures.

Mobility Regulations

Thoroughfares are an important aspect of public space. The design and access to streets and sidewalks in the Plan Area plays a key role in forming this sense of place for the neighborhood and the Route 206 Redevelopment District.

1. Access driveways and automobile circulation:
 - a. Appropriate traffic control signs must be installed to ensure the safe flow of traffic into and through the redeveloped area.
 - b. Access configurations shall be designed to meet projected vehicular traffic and circulation needs.
2. Pedestrian circulation:
 - a. Sidewalks shall be provided where pedestrian circulation is anticipated and be wide enough to handle pedestrians and accommodate benches, planters, street trees and streetlights.
 - b. Sidewalks in the Route 206 Redevelopment Area shall be a minimum of six (6) feet wide. A minimum two (2) feet wide brick paver strip shall be constructed between the curb and the sidewalk. Walkways shall be raised and curbed along buildings and within parking lots, where suitable.
 - c. Barrier-free walkway systems shall be provided to allow pedestrian access to buildings or uses from parking lots and public sidewalks.
 - d. To promote pedestrian mobility, outdoor cafes are permitted on sidewalks, plazas, and courtyards, provided pedestrian circulation or access to store entrances is not impaired.
 - e. All building entrances must provide pedestrian access to adjacent streets and parking areas.
 - f. Sidewalk displays are permitted directly in front of an establishment along the sidewalk, provided at least six (6) feet of clearance is maintained at the storefront entrances and at least four (4) feet of sidewalk is maintained for pedestrians. Displays are permitted in the rear and side yards of the premises, if it is temporary, defined as being readily removed and is not a permanent fixture, attractive and may not generally exceed six feet (6) in height.
3. Streetscape, Sidewalks, Crosswalks and Public Spaces:
 - a. Where not existing already, streetscape improvements shall be constructed along the road frontage of every lot proposed for development in the Route 206 Redevelopment

Area. The streetscape shall include landscaped areas and street trees. Where pedestrian circulation is anticipated, sidewalks, streetlights, and street furniture shall also be provided.

- b. Sidewalks shall be wide enough to handle pedestrians and accommodate benches, planters, and street trees lights. Sidewalks shall be a minimum of six feet (6') wide, which may be a combination of a four foot (4') wide sidewalk and two foot (2') wide brick paver strip. A minimum two foot (2') wide brick paver strip shall be constructed between the curb and the sidewalk. Walkways shall be raised and curbed along buildings and within parking lots, where suitable.
- c. Asphalt and non-aggregate exposed concrete slabs, clay brick, and decorative concrete pavers are permitted and shall provide a flat walking surface.
- d. Decorative crosswalks shall be used to connect the public walkway system and help slow down traffic to create a pedestrian friendly environment.

Signage

Sign standards for the Redevelopment Plan are regulated by Section 190:87-96 of the Township Code.

Ordinance Standards Applicable

Article X Performance Standards, Article XII Fences, Article XIII Affordable Housing and Article XVI Wind and Solar Energy Systems of the Township Code, to the extent that they do not conflict with the standards in this Redevelopment shall apply. Section 190-19 Commercial Vehicles and 190-21 Outdoor Storage apply. Section 190-22 Prohibited Uses apply to the extent that it does not conflict with provisions in this Plan.

Submittal Requirements

Redeveloper(s) shall submit a site plan application to the Township Land Use Board for each proposed redevelopment within the Plan Area. The site plan approval process will occur as per the Land Use Board's site plan review requirements.

LEGAL PROVISIONS

The Validity of the Plan

If any section, subsection, paragraph, division, subdivision, clause or provision of this Plan is deemed by a court of competent jurisdiction to be invalid, such adjunction will only apply to the particular section, subsection, paragraph, division, subdivision, clause, provision in question, and the balance of the Plan will be adjudged valid and effective.

Zoning Map Revisions

Upon final adoption of this Redevelopment Plan by the Township Council, the Zoning Map of the Township of Andover is hereby amended and must be revised to show the boundaries of the Route 206 Redevelopment Area and identify the district as the "Route 206 Redevelopment Area". All provisions of this Plan will supersede all provisions of the Andover Zoning Ordinance for the Plan Area. Any zoning-related issue that is not addressed herein will refer to the Andover Zoning Ordinance for guidance. No variance from the requirements herein will be cognizable by the Zoning Board of Adjustment. The Land

Use Board, acting as the Planning Board, will have the authority to grant deviations from the requirements of this Plan, as provided herein.

Amendments to the Route 206 Redevelopment Area Plan

The Route 206 Redevelopment Area Plan may be amended from time to time in compliance with the requirements of the Local Redevelopment & Housing Law.

As development occurs within the Area, development priorities and market demands may change. This Plan should have the adaptability to meet the changing needs of market demand, the Township of Andover and its citizens. Amendments may be required in order to accommodate these changes.

Variations in Site Plan Design

Modifications from standards that are expressly stated to be “mandatory” under the Land Use Regulations of this Plan, may be approved by the Planning Board only by formal grant of a deviation as provided.

The Land Use Board may grant deviations from the regulations contained within the Plan, where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property, or by reason of exceptional topographic conditions, pre-existing structure, or physical features uniquely affecting a specific piece of property, the strict application of any area, yard, bulk, or design objective or regulation adopted pursuant to this Plan, would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the owner of such property. The Land Use Board may also grant a deviation from the regulations within this Plan related to a specific piece of property where the purposes of this Plan would be advanced by such deviation from the strict application of the requirements of this plan, and the benefits of granting the deviation would outweigh any detriments. The Land Use Board may grant exceptions or waivers from design standards, from the requirements for site plan or subdivision approval as may be reasonable and within the general purpose and intent of the provisions for site plan review and/or subdivision approval within this Plan, if the literal enforcement of one or more provisions of the Plan is impracticable or would exact undue hardship because of peculiar conditions pertaining to the site. No deviations may be granted under the terms of this section unless such deviations can be granted without resulting in substantial detriment to the public good and will not substantially impair the intent and purpose of this Plan.

An application requesting deviation from the requirements of this Plan must provide a public notice of such application in accordance with the public notice requirements set forth in N.J.S.A. 40:55D-12.a. & b.

No deviations may be granted which will result in permitting:

1. A use or principal structure not permitted in this Plan [N.J.S.A. 40:55D-70.d(1)].
2. An expansion of a nonconforming use [N.J.S.A. 40:55D-70.d(2)]; and
3. An increase in the permitted residential density greater than permitted by the Plan [N.J.S.A. 40:55D-70.d(5)].
4. An increase in height of a principal structure which exceeds by ten (10) feet or ten (10%) percent the maximum height permitted in this Plan [N.J.S.A. 40:55D-70.d(6)]

Deviations from conditional use standards may be granted by the Land Use Board pursuant to the standards of N.J.S.A. 40:55D-70.d(3). Any party seeking a deviation from this Plan which cannot be

granted by the Land Use Board as set forth above may apply to the Governing Body to request an amendment to this Plan or request a property specific plan within the Redevelopment Area.

ACQUISITION PLAN

There is no property acquisition by the Township anticipated by this Plan.

RELOCATION PLAN

Because there is no property acquisition by the Township anticipated for this Plan, no Relocation Plan is necessary.

PARCELS WITHIN ROUTE 206 REDEVELOPMENT AREA

| BLOCK | LOT | PROPERTY ADDRESS | ACREAGE | OWNER NAME |
|-------|-------|--------------------------|---------|-------------------------------------|
| 134 | 16.02 | 483 RT 206 | 2.31 | GOLDEN, DANIEL E C/O SAFELITE GLASS |
| 134 | 17.02 | 519 RT 206 | 1.53 | HARMONY LODGE TRUSTEES |
| 134 | 17.06 | 515 RT 206 | 1.09 | 515 ROUTE 206 ANDOVER NJ, LLC |
| 134 | 17.08 | 521,523 TO 531 RT 206 S | 1.13 | BIG A PROPERTY HOLDING-104 PARK AVE |
| 134 | 17.12 | 505 RT 206 N | 2.85 | WORTH, ROBERT C |
| 134 | 22 | 641 RT 206 S | 25.6 | DICKMAN, STEVEN & SCOTT |
| 134 | 25.01 | 661 RT 206 S | 1.37 | MESHEFSKY, STEPHEN J |
| 134 | 25.02 | 665 RT 206 | 50.26 | KREYE, SIEGFRIED & MARY ELLEN |
| 134 | 26 | 667 RT 206 | 1.47 | PETER, RICHARD K JR ET AL |
| 134 | 33 | STICKLES POND RD | 67 | ST PAULS ABBEY |
| 151 | 2 | 473 RT 206 | 0.46 | DECARLO, KIM |
| 151 | 3 | 471 RT 206 | 0.35 | TERWILLIGER, ROGER & ADONA |
| 151 | 16 | 453 & 451 RT 206 | 4.28 | ONEWAY FOCUSED HOLDINGS, LLC |
| 151 | 18 | 314 STICKLES POND RD | 2.22 | LAYTON, KATHERINE |
| 151 | 19 | 310 STICKLES POND RD | 8.88 | JUMP, RICHARD |
| 151 | 20 | 290 STICKLES POND RD | 4.88 | 290 STICKLES POND ROAD, LLC |
| 151 | 21 | 248 STICKLES POND RD | 86.84 | PUBLIC SERVICE ELECTRIC & GAS CO |
| 151 | 22 | RT 206 | 331.81 | ST PAULS ABBEY |
| 151 | 22.02 | 293 RT 206 | 9.01 | ST PAULS ABBEY, INC |
| 153 | 21 | 454 RT 206 SO | 2.75 | ASAMA PROPERTIES, LLC |
| 153 | 25 | 420 RT 206 SO | 2.48 | DEPERALTA, ALEX G |
| 153 | 26 | 412 RT 206 SO | 16.46 | SMITH, HENRIETTA C TST ET AL |
| 153 | 27 | 408 RT 206 | 9.57 | SMITH, HENRIETTA C TST ET AL |
| 153 | 32 | 380 RT 206 | 3.75 | TASCH, ALICIA A & JANET F |
| 153 | 35 | RT 206 | 21.01 | ST PAULS ABBEY |
| 154 | 47 | 468, 468A, 470 RT 206 SO | 1.4 | ALEX & CHRIS REALTY, LLC |
| 155 | 5.01 | 474-476 RT 206 SO | 4.5 | TSITSIRAGOS, MARIA |
| 158 | 1 | 698 RT 206 SO | 0.92 | 698 ROUTE 206 SOUTH, LLC |
| 158 | 2 | 692 RT 206 SO | 0.69 | ACQUAVELLA, MICHAEL |

| BLOCK | LOT | PROPERTY ADDRESS | ACREAGE | OWNER NAME |
|-------|-------|------------------|---------|-----------------------------------|
| 158 | 3 | 690 RT 206 SO | 0.5 | TORNILLO, CHRISTOPHER J |
| 158 | 6 | 662 RT 206 SO | 10.51 | COBA, INC %TD BANK NA |
| 158 | 10 | RT 206 | 26.71 | TORNILLO, CHRISTOPHER J & JAMES C |
| 158 | 14.01 | 708 RT 206 | 8.31 | HARI-OM, LLC |
| 158 | 14.02 | 706 RT 206 SO | 12.05 | RYDER, KATHY |
| 159 | 1.03 | 719 & 717 RT 206 | 2.25 | JK SERVICE DEVELOPMENT, LLC |
| 159 | 2 | 727 RT 206 | 5.45 | FRANK & DAUGHTERS C/O D. BOFFA |
| 159 | 4 | 733 RT 206 | 8.53 | GEISELHART, ERWIN & MARTHA |
| 159 | 7 | 723 RT 206 | 1.19 | ANDOVER REALTY ASSOCIATES, LLC |
| 161 | 5 | 726 RT 206 | 9.39 | HEFTER ANDOVER REALTY |
| 161 | 5.01 | 720 RT 206 SO | 4.46 | LEIFKEN ANDOVER REALTY, LLC |
| 161 | 5.02 | 714 RT 206 | 5.54 | FISCHER & SON SAWMILLS |
| 161 | 6 | 710 RT 206 | 1.43 | WOLOSKY, JESSE |
| 1 | 5.03 | OFF RT 206 | 47.34 | ANDOVER 206 REALTY, LLC |